



PROJECT NAME
**PROPOSED
GIRL SCOUT
PROMISE
CENTER**

ADDRESS:
157 BABYLON TPKE,
ROOSEVELT,
N.Y 11575
N.C.T.M #
SECTION: 55
BLOCK: 476
LOT: 201

TITLE PAGE
**COVER
SHEET**

SITE NOTES
NOT FOR CONSTRUCTION

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SCALE:
DATE: 12/12/24
DRAWN: KARIM MOUSSA
CHECKED:

**G
001**

PROPOSED GIRL SCOUT PROMISE CENTER

157 BABYLON TPKE, ROOSEVELT, NY 11575

FARMINGDALE STATE COLLEGE
ARCHITECTURAL DESIGN



GENERAL NOTES:

THE FOLLOWING NOTES SHALL APPLY THROUGHOUT.
EXCEPTIONS ARE SPECIFICALLY NOTED ON EACH DRAWING

- PROJECT OVERVIEW: THIS PROJECT IS UNDER PRELIMINARY REVIEW AND HAS BEEN MARKED "NOT FOR CONSTRUCTION." ALL DESIGNS, DIMENSIONS, AND SPECIFICATIONS SHOWN ON THESE DOCUMENTS ARE SUBJECT TO FURTHER REVISION AND APPROVAL.
- ZONING AND LAND USE COMPLIANCE: THE PROJECT WILL ADHERE TO THE TOWN OF HEMPSTEAD BUILDING ZONE ORDINANCE. ALL PROPOSED USES, SITE IMPROVEMENTS, AND BUILDING MODIFICATIONS WILL BE EVALUATED FOR COMPLIANCE WITH LOCAL ZONING REGULATIONS. ANY NECESSARY VARIANCES OR SPECIAL USE PERMITS WILL BE OBTAINED PRIOR TO FINAL APPROVAL.
- ENVIRONMENTAL COMPLIANCE: COMPLIANCE WITH THE NEW YORK STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQRA) WILL BE ENSURED. A DETERMINATION OF SIGNIFICANCE WILL BE MADE TO ASSESS POTENTIAL ENVIRONMENTAL IMPACTS, AND APPROPRIATE MEASURES WILL BE TAKEN TO MITIGATE ANY IDENTIFIED ISSUES.
- NASSAU COUNTY MUNICIPAL LAW 239-F REVIEW: AS REQUIRED UNDER NASSAU COUNTY MUNICIPAL LAW 239-F, THIS PROJECT WILL BE SUBJECT TO REVIEW BY THE NASSAU COUNTY PLANNING COMMISSION DUE TO ITS PROXIMITY TO A COUNTY ROAD (BABYLON TURNPIKE) AND POTENTIAL IMPACT ON NEIGHBORING MUNICIPALITIES. RECOMMENDATIONS FROM THE COUNTY MUST BE INCORPORATED INTO THE FINAL PROJECT DOCUMENTS.
- ROAD CLASSIFICATION AND VERIFICATION: BABYLON TURNPIKE IS VERIFIED AS A COUNTY ROAD, AND ALL SITE PLANS AND TRAFFIC IMPACT STUDIES WILL REFLECT THIS DESIGNATION. COORDINATION WITH NASSAU COUNTY DEPARTMENT OF PUBLIC WORKS WILL BE NECESSARY FOR ANY PROPOSED CURB CUTS, DRAINAGE, OR ROADWAY IMPROVEMENTS.
- SANITARY, MECHANICAL, AND FACILITY REQUIREMENTS: THE BUILDING WILL INCLUDE PROVISIONS FOR SANITARY FACILITIES, A COMMERCIAL KITCHEN, AND A MECHANICAL ROOM IN COMPLIANCE WITH APPLICABLE TOWN OF HEMPSTEAD AND NASSAU COUNTY BUILDING CODES. SPECIFIC REQUIREMENTS FOR WATER SUPPLY, DRAINAGE, AND HVAC SYSTEMS WILL BE FINALIZED IN THE CONSTRUCTION PHASE.
- PARKING AND SITE ACCESSIBILITY: NO ON-SITE PARKING IS PROVIDED. A COMPREHENSIVE STUDY OF THE SITE'S ACCESSIBILITY, INCLUDING ALTERNATIVE PARKING SOLUTIONS, WILL BE COMPLETED TO ENSURE COMPLIANCE WITH BOTH THE AMERICANS WITH DISABILITIES ACT (ADA) AND LOCAL PLANNING REGULATIONS.
- FLOODPLAIN AND DRAINAGE: A REVIEW OF THE SITE'S LOCATION RELATIVE TO FLOOD ZONES AS DEFINED BY THE FEMA FLOOD INSURANCE RATE MAPS (FIRM) WILL BE CONDUCTED. ADEQUATE DRAINAGE PLANS MUST BE INCORPORATED TO MANAGE STORMWATER RUNOFF IN ACCORDANCE WITH LOCAL AND STATE GUIDELINES.
- UTILITY COORDINATION: ALL UTILITY CONNECTIONS, INCLUDING WATER, SEWER, GAS, AND ELECTRICITY, WILL BE COORDINATED WITH THE RELEVANT SERVICE PROVIDERS. PLANS FOR UTILITY ROUTING MUST COMPLY WITH LOCAL AND COUNTY REQUIREMENTS.
- LIMITATIONS OF CURRENT DOCUMENTATION: THIS SET OF DOCUMENTS IS FOR PRELIMINARY REVIEW ONLY AND IS SUBJECT TO FURTHER MODIFICATIONS. ALL DETAILS PROVIDED HEREIN MUST BE VERIFIED BY THE CONTRACTOR, DESIGN TEAM, AND RELEVANT MUNICIPAL AUTHORITIES BEFORE ANY CONSTRUCTION COMMENCES.
- CHAPTER 11, NEW YORK STATE BUILDING CODE COMPLIANCE: THE PROJECT WILL ADHERE TO THE ACCESSIBILITY REQUIREMENTS OF CHAPTER 11 OF THE NEW YORK STATE BUILDING CODE, WHICH GOVERNS ACCESSIBILITY TO BUILDINGS FOR PEOPLE WITH DISABILITIES. SPECIFIC ATTENTION WILL BE GIVEN TO COMPLIANCE WITH ICC/ANSI A117.1 (2017), WHICH SETS STANDARDS FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.
- ACCESSIBLE ROUTES: ALL PEDESTRIAN ROUTES, INCLUDING BUILDING ENTRANCES, PATHS, AND CORRIDORS, WILL COMPLY WITH THE SLOPE, WIDTH, AND SURFACE STANDARDS REQUIRED BY CHAPTER 11 AND ANSI 117.1.
- ENTRANCES AND EXITS: ENTRANCES AND EXITS WILL BE DESIGNED TO ENSURE COMPLIANCE WITH ACCESSIBILITY STANDARDS, INCLUDING CLEAR WIDTH, MANEUVERING SPACE, AND THRESHOLDS IN ACCORDANCE WITH ANSI A117.1.
- RESTROOMS AND FACILITIES: ALL SANITARY FACILITIES WILL MEET ACCESSIBILITY REQUIREMENTS, WITH ADEQUATE MANEUVERING SPACE, GRAB BARS, AND APPROPRIATE FIXTURE HEIGHTS AS SPECIFIED IN ANSI A117.1 (2017).
- PARKING AND ACCESSIBLE SPACES: IF PARKING IS TO BE INCORPORATED, THE REQUIRED NUMBER OF ACCESSIBLE PARKING SPACES WILL BE PROVIDED IN ACCORDANCE WITH CHAPTER 11 AND ANSI STANDARDS, INCLUDING APPROPRIATE SIGNAGE AND PATH ACCESS.
- COMMUNICATION ELEMENTS: COMPLIANCE WITH VISUAL AND AUDITORY ACCESSIBILITY, SUCH AS SIGNAGE, ALARMS, AND COMMUNICATION SYSTEMS, WILL ALSO BE CONFIRMED IN ACCORDANCE WITH ANSI A117.1.
- NASSAU COUNTY FIRE MARSHAL REVIEW FOR A-3 USE GROUP: THE PROJECT'S PLACE OF ASSEMBLY AND KITCHEN FACILITIES WILL REQUIRE PLAN REVIEW AND APPROVAL BY THE NASSAU COUNTY FIRE MARSHAL DUE TO THE INTENDED USE AS AN A-3 OCCUPANCY GROUP (ASSEMBLY GROUP A-3). THE FIRE MARSHAL'S REVIEW WILL FOCUS ON COMPLIANCE WITH THE NEW YORK STATE FIRE CODE AND NASSAU COUNTY FIRE SAFETY REGULATIONS, SPECIFICALLY:
 - OCCUPANT LOAD: CALCULATION OF MAXIMUM OCCUPANT LOAD FOR THE BANQUET HALL AND OTHER ASSEMBLY SPACES.
 - FIRE PROTECTION SYSTEMS: REQUIREMENTS FOR AUTOMATIC SPRINKLER SYSTEMS, FIRE ALARMS, AND KITCHEN HOOD SUPPRESSION SYSTEMS WHERE COOKING EQUIPMENT IS PRESENT.
 - EGRESS REQUIREMENTS: ENSURING SUFFICIENT AND ACCESSIBLE EMERGENCY EXITS, EXIT SIGNAGE, AND CLEAR PATHS OF EGRESS IN COMPLIANCE WITH FIRE SAFETY STANDARDS.
 - FIRE SEPARATION AND CONSTRUCTION TYPE: REVIEW OF FIRE-RATED CONSTRUCTION, INCLUDING WALLS, FLOORS, AND CEILINGS, FOR APPROPRIATE FIRE SEPARATION BETWEEN ASSEMBLY AREAS AND ADJACENT SPACES.
 - FIRE EXTINGUISHING SYSTEMS: EVALUATION OF KITCHEN FIRE SUPPRESSION SYSTEMS, ESPECIALLY FOR COMMERCIAL KITCHENS SERVING THE A-3 USE, TO ENSURE THEY MEET NFPA 96 AND OTHER RELEVANT STANDARDS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE AND/ OR BUILDING.
- COORDINATION OF ALL WORK UNDER THIS CONTRACT SHALL BE MAINTAINED TO ENSURE THE QUALITY AND TIMELY COMPLETION OF THE WORK/ PROJECT.
- FLOORS IN SPACES WITH MULTIPLE FLOOR DRAINS SHALL BE PITCHED TO THE FLOOR DRAIN.
- AT TOILET AREAS AND OTHER LOCATIONS WITH ONE DRAIN ONLY, PROVIDE DRAIN 1/4" BELOW FINISH FLOOR AND PROVIDE A TWO FEET (2") SWALE IN CONCRETE TO DRAIN. SLAB IN ROOM SHALL NOT PITCH AWAY FROM THE DRAIN.
- SHALL NOT BE LESS THAN 6" UNLESS OTHERWISE NOTED ON THE DRAWING.

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G

002

ZONING DISTRICT:

MAP NUMBER:

BUILDING AREA SUMMARY:

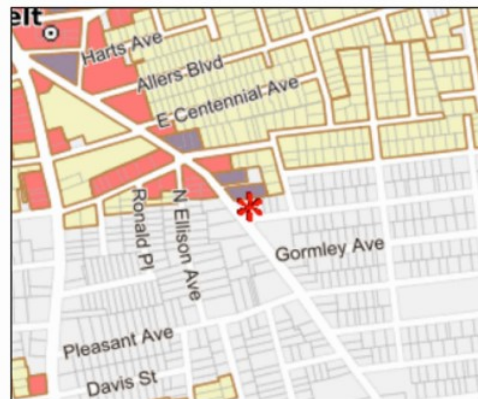
ZONING SECTION	ITEM	REQUIRED-PERMITTED	ACTUAL	REMARKS
LM	FLOOR AREA RATIO	0.4 FAR	0.5 FAR	
LM	LOT COVERAGE	50%	50.32%	
LM	FRONT SETBACK	20 FT	20 FT	
LM	SIDE SETBACK	10 FT	10 FT	
LM	STREET TREE PLANTING	WIRE FRIENDLY	YES	
LM	PLANT STRIP	6FT HEIGHT 4FT DEPTH	0FT HEIGHT 2FT DEPTH	
LM	PARKING	31.5	72	

FLOOR	NEW BLDG	EXT BLDG	TOTAL
1ST FLOOR	5218.28 SF	5077.10 SF	141.18 SF
2ND FLOOR	5341.95 SF	0 SF	5341.95 SF
3RD FLOOR	520.20 SF	0 SF	520.20 SF

LOT COVERAGE TABLE:

LOT TYPE	BLDG AREA	LOT AREA	COVERAGE
CORNER	5218.28 SF	10369 SF	50.32%
TOTAL LOT AREA			5150.72 SF

LAND USE DIAGRAM:

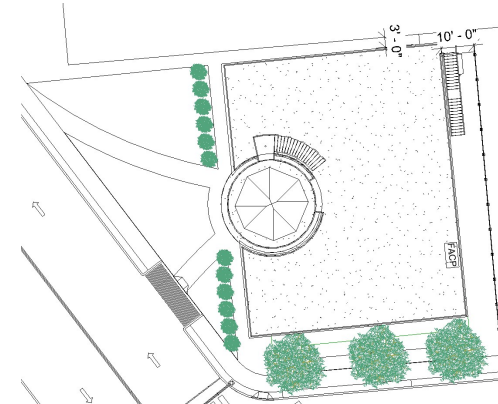


Click on the map to expand.

Major zoning groups:

- Multi-family
- Single family
- Other residential
- Commercial
- Office
- Industrial
- Public facilities
- Open space
- Agricultural
- Mixed use
- Planned development
- Specific plan
- Other
- Planned development - overlay
- No zoning data available

ZONING LOT DIAGRAM:



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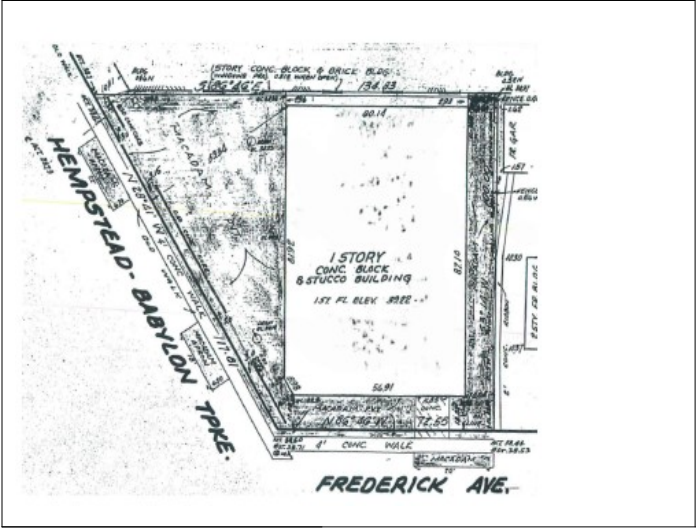
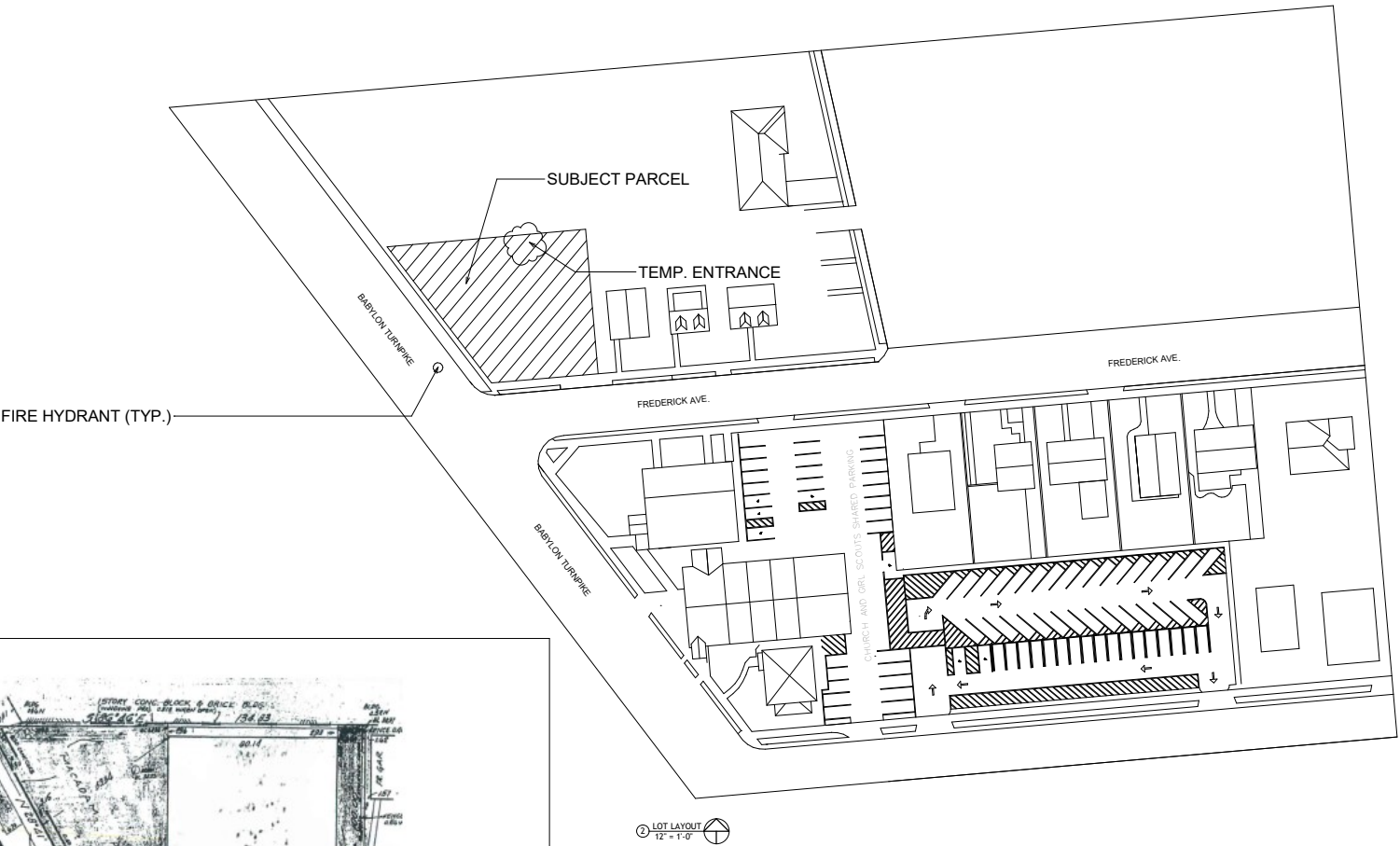
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**V
101**





1 PROPOSED SITE PLAN
1" = 30'-0"

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**CIVIL AND
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IMPROVEMENT**

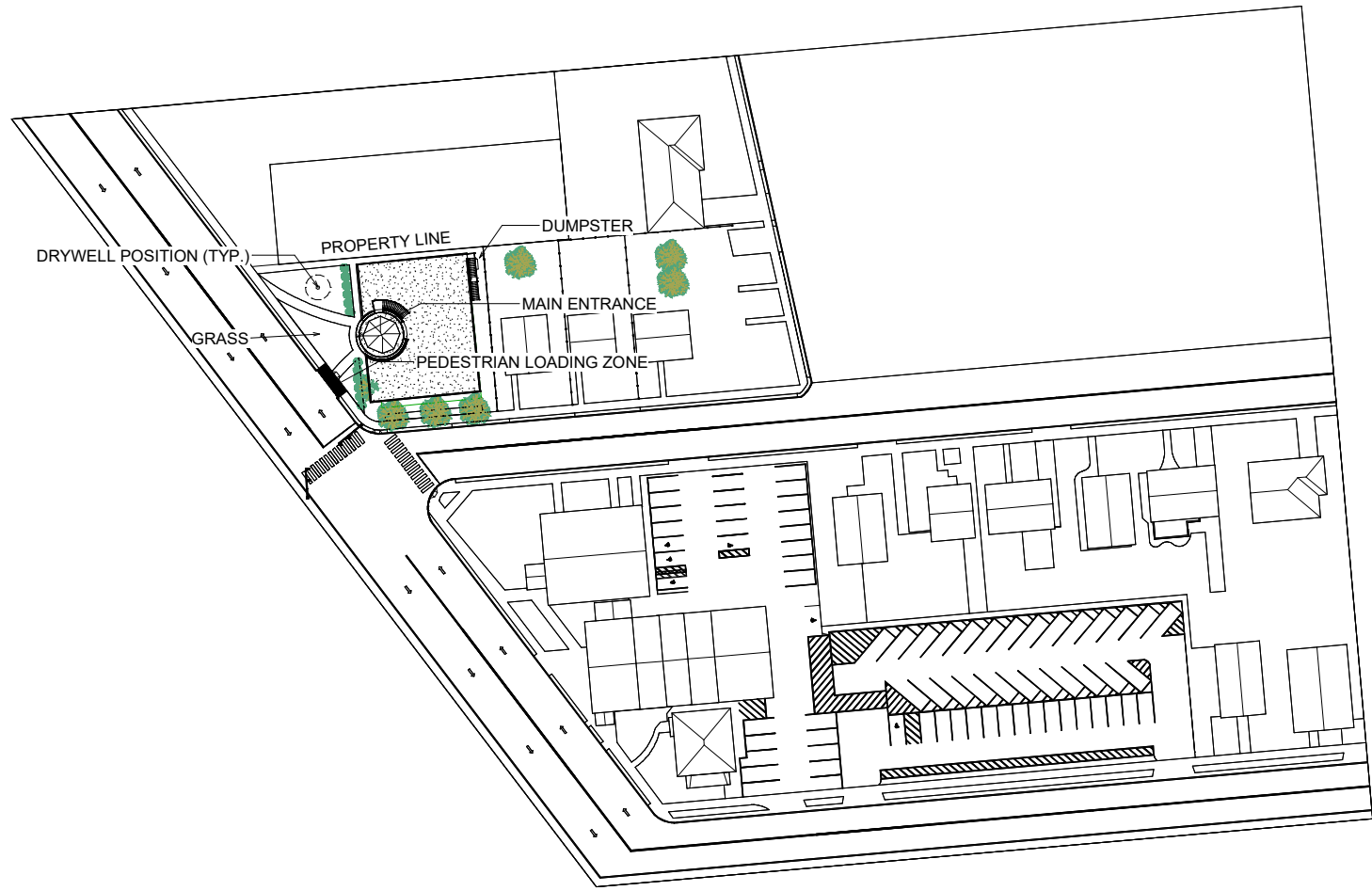
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101**



① Site Plan
1" = 30'-0"

PLANT KEY



VILLAGE GREEN
JAPANESE ZELKOVA



BOXWOOD BUSH
(LOW)

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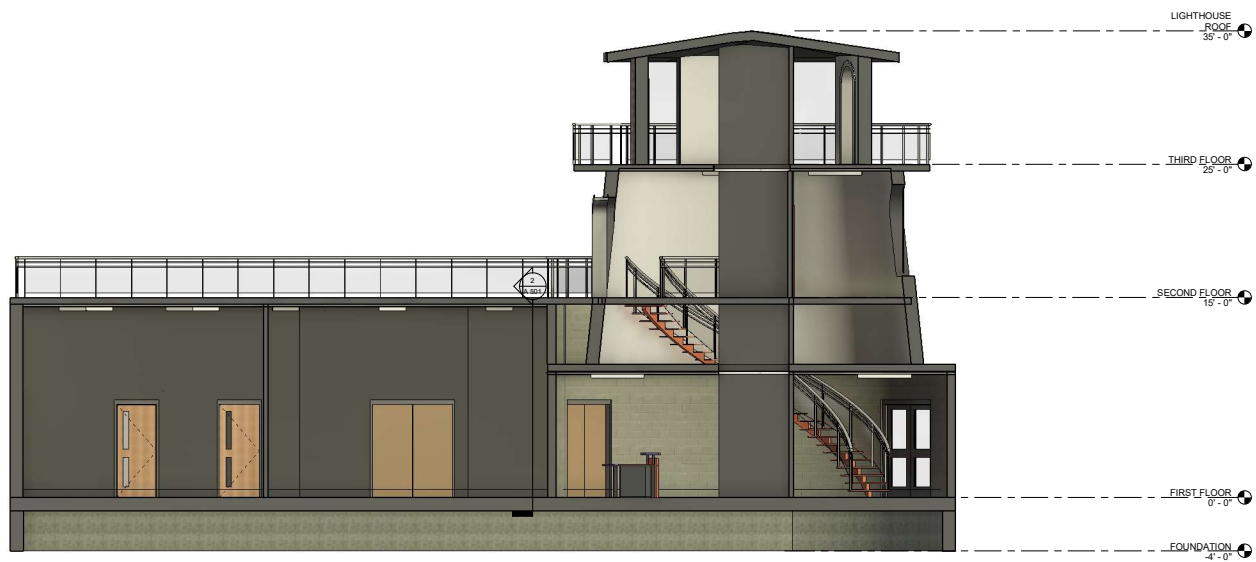
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**LANDSCAPE
IMPROVEMENT**

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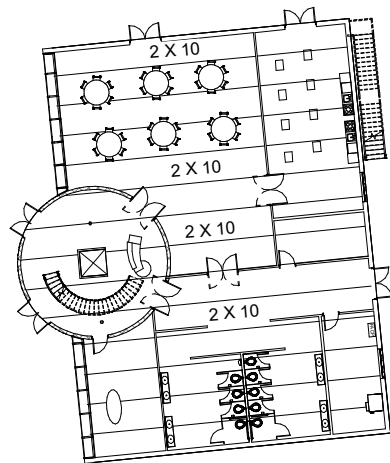
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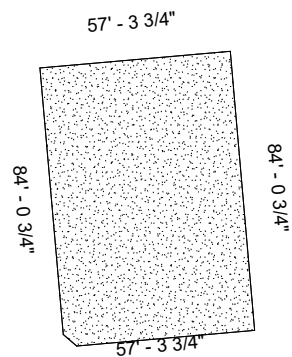
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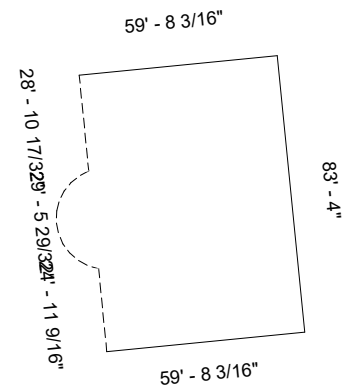
① Section 1
1/4" = 1'-0"



② STRUCTURAL GRID
3/32" = 1'-0"



③ DEMOLITION PLAN
1/16" = 1'-0"



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**STRUCTURAL
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**FIRST FLOOR
PLAN**

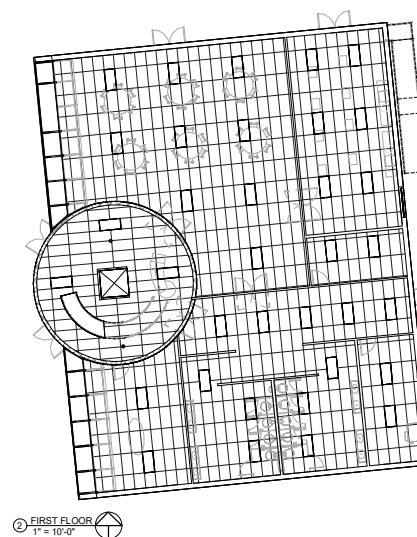
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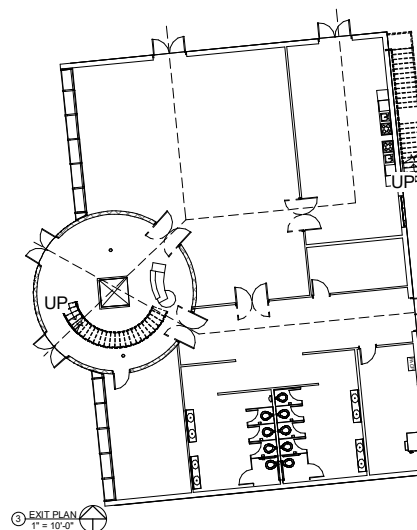
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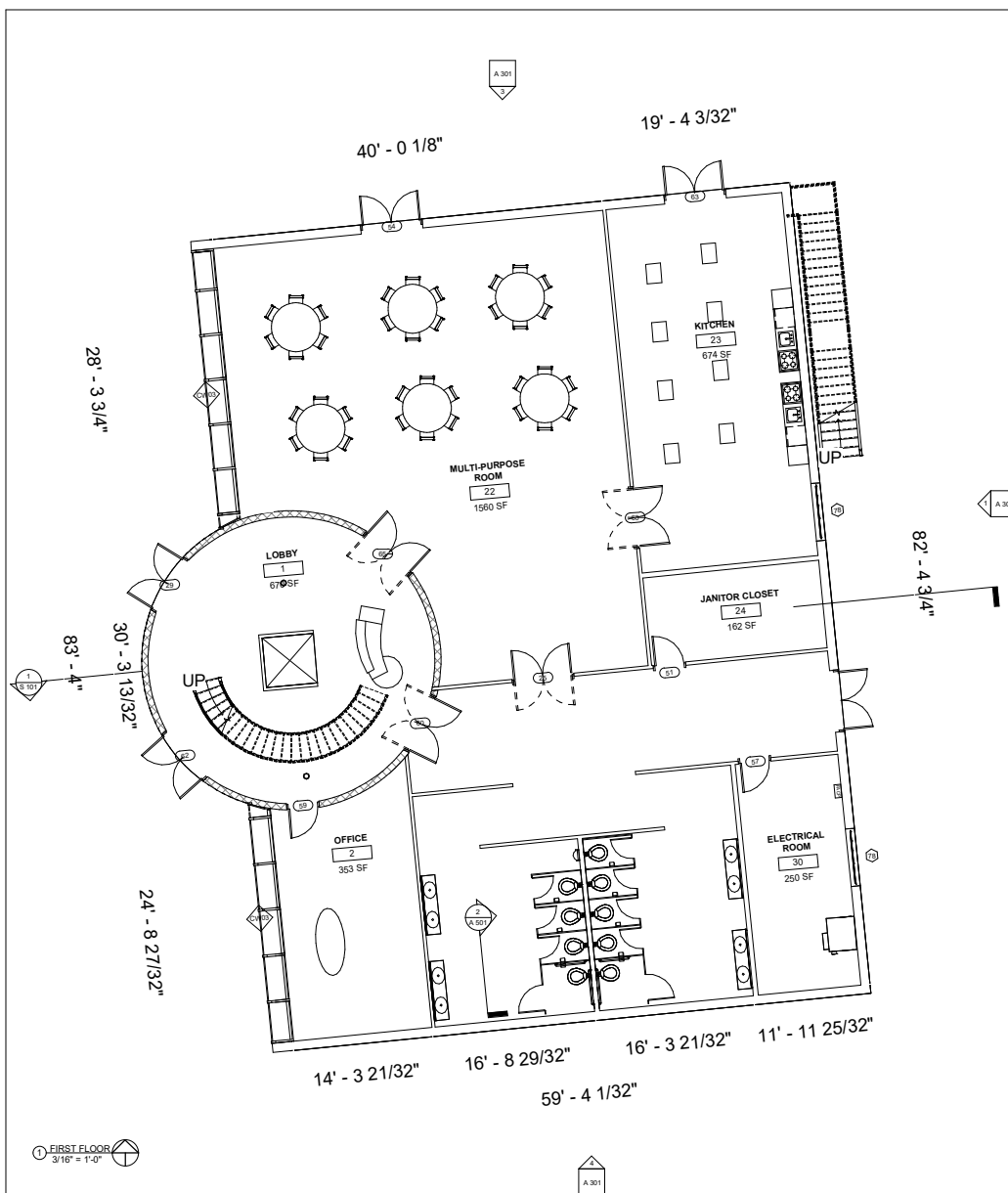
**A
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1 FIRST FLOOR
1" = 10'-0"



2 EXIT PLAN
1" = 10'-0"



1 FIRST FLOOR
3/16" = 1'-0"

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**ROOF/ACTIVITY
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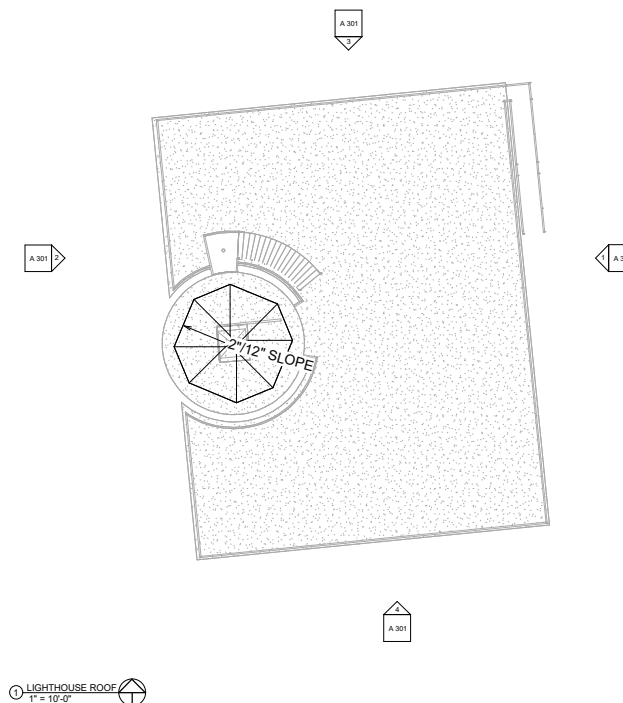
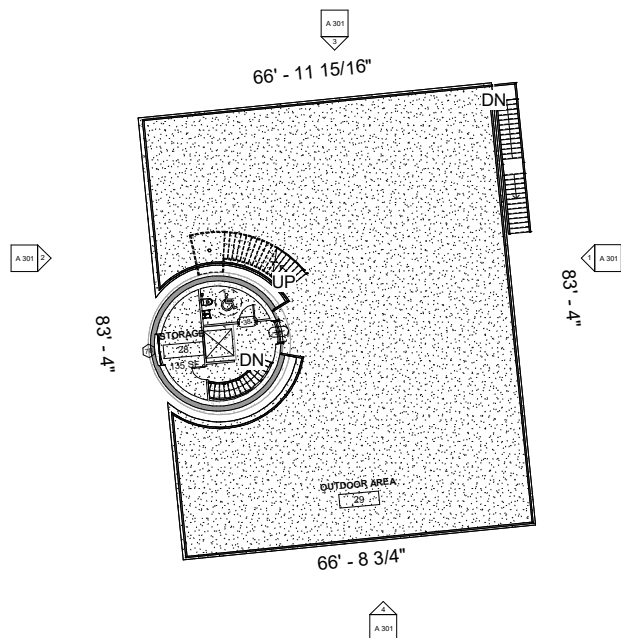
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Room Finish Schedule		
Room Number	Room Name	Area
22	MULTI-PURPOSE ROOM	1560 SF
23	KITCHEN	674 SF
24	JANITOR CLOSET	162 SF
2	OFFICE	353 SF
1	LOBBY	670 SF
28	STORAGE	135 SF
30	ELECTRIC AL ROOM	250 SF
29	OUTDOOR AREA	Not Enclosed

OCCUPANCY CALCULATIONS:

ASSEMBLY (A-3)

LOBBY: 670 SF/15 SF \approx 45 PPL.
MULTI-PURPOSE SPACE: 1560 SF/15 SF \approx 104 PPL.
OUTSIDE AREA: 5608 SF/15 SF \approx 374 PPL.

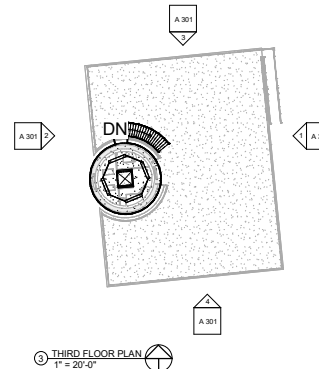
BUSINESS (B)

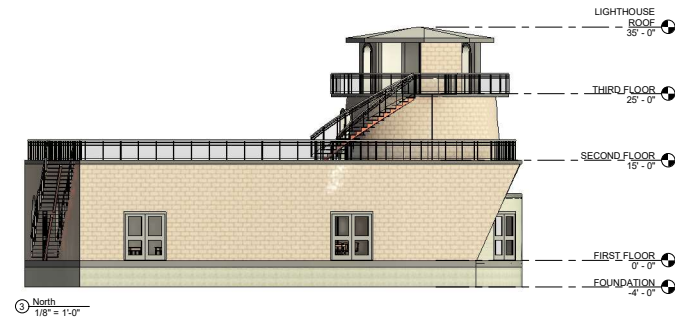
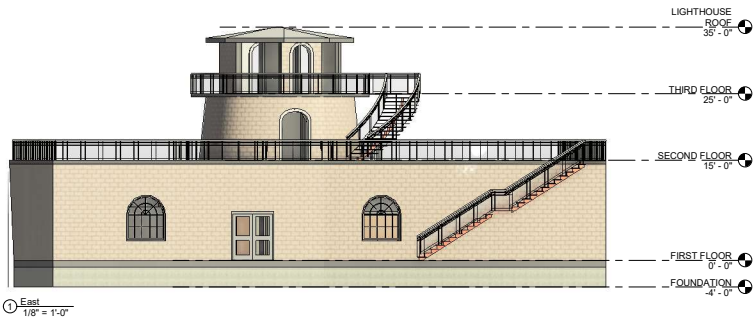
OFFICE: 353 SF/150 SF \approx 3 PPL.
KITCHEN (NON-COMMERCIAL): 674 SF/150 SF \approx 5 PPL.

ACCESSORY STORAGE & MECHANICAL EQUIPMENT ROOMS:

SMALL STORAGE: 135 SF/300 SF \approx 1 PERSON
JANITOR'S CLOSET: 162 SF/300 SF \approx 1 PERSON
MECHANICAL ROOM: 250 SF/300 SF \approx 1 PERSON

TOTAL OCCUPANCY = 534 PPL. (3 EXIT DOORS REQUIRED)





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**WALL
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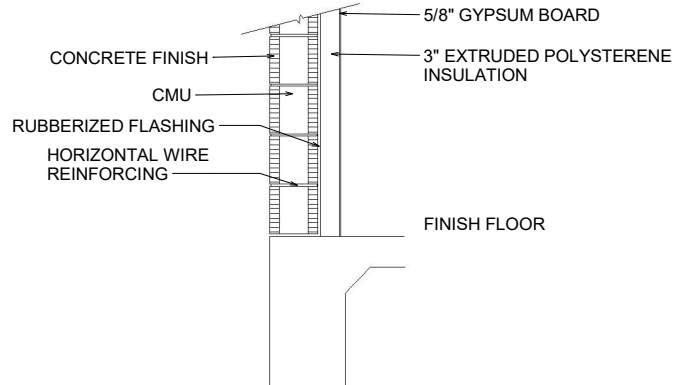
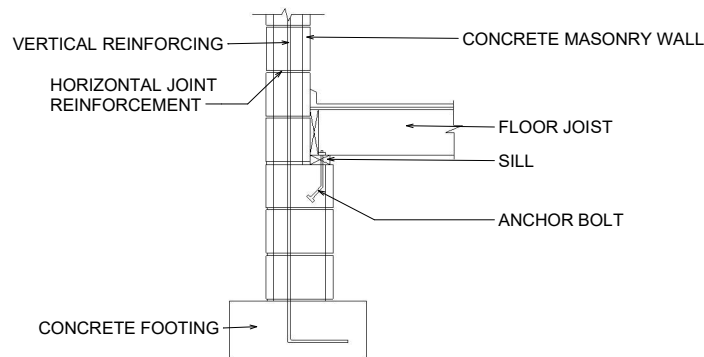
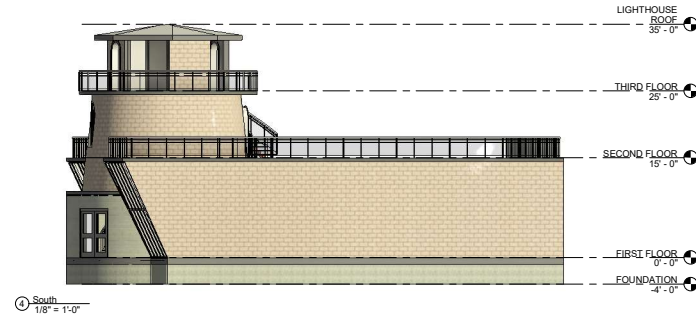
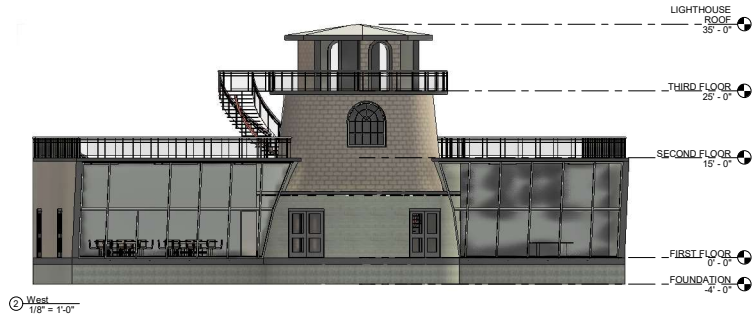
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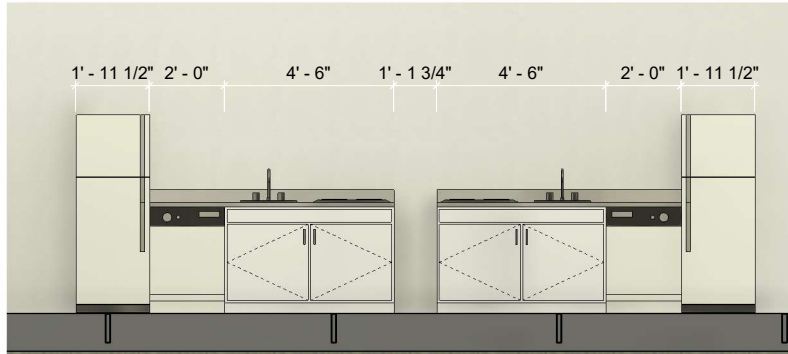
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SITE PLAN CONCEPT

REVISION DATE

SCALE: 1/8" = 1'-0"
DATE: 12/12/24
DRAWN: KARIM MOUSSA
CHECKED:

**A
301**

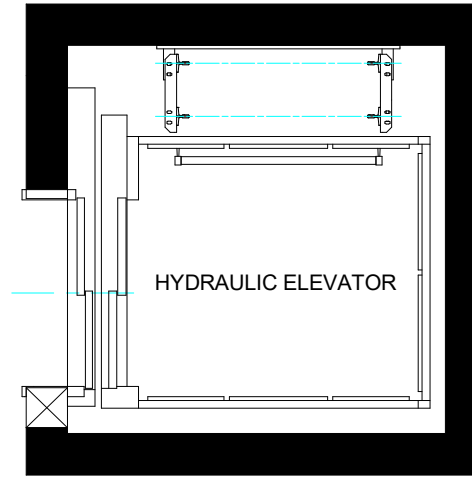




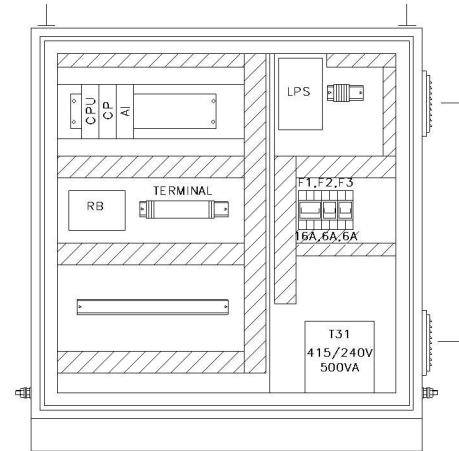
① KITCHEN
3/4" = 1'-0"



② Section 2
3/4" = 1'-0"



③ HYDRAULIC ELEVATOR
12" = 1'-0"



④ ELECTRIC PANEL
12" = 1'-0"

PROJECT NAME
**PROPOSED
GIRL SCOUT
PROMISE
CENTER**

ADDRESS:
157 BABYLON TPKE,
ROOSEVELT,
N.Y 11575
N.C.T.M #
SECTION: 55
BLOCK: 476
LOT: 201

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**PLAN
DETAILS**

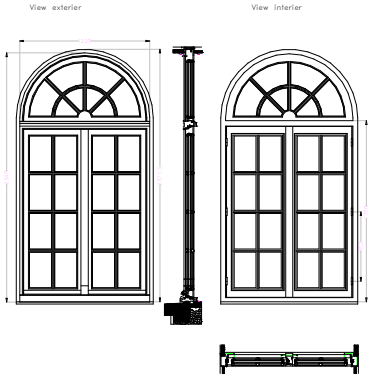
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NOT FOR CONSTRUCTION

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DATE: 12/12/24
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**A
501**

Window Schedule			
Type Mark	Rough Opening		Type
	Width	Height	
78	5' - 10 7/8"	3' - 11 1/4"	1200_x_1800_Arched_win dow_with_Sunray_transom _2269



Door Schedule		
Door Number	Door Type	Door Size
25	58	Door-Passage-Double-Flush-Dbl _Acting
29	57	Door-Exterior-Double-Two_Lite
36	62	120 x 225 cm
37	38	30" x 80"
38	59	Door-Passage-Single-Two_Lite _Narrow
51	59	Door-Passage-Single-Two_Lite _Narrow
52	57	Door-Exterior-Double-Two_Lite
54	57	Door-Exterior-Double-Two_Lite
55	63	90 x 225 cm
56	63	90 x 225 cm
57	59	Door-Passage-Single-Two_Lite _Narrow
59	59	Door-Passage-Single-Two_Lite _Narrow
60	58	Door-Passage-Double-Flush-Dbl _Acting
62	57	Door-Exterior-Double-Two_Lite
63	57	Door-Exterior-Double-Two_Lite
65	58	Door-Passage-Double-Flush-Dbl _Acting
66	58	Door-Passage-Double-Flush-Dbl _Acting

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DOOR &
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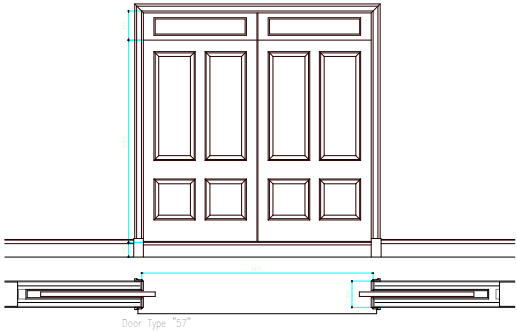
DATE: 07/09/02

DRAWN: KARIM MOUSSA

CHECKED:

A
601

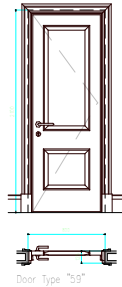
DOOR TYPE "57"



DOOR TYPE "58"



DOOR TYPE "59"



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**BUILDING
SERVICES**

SITE NOTES
NOT FOR CONSTRUCTION

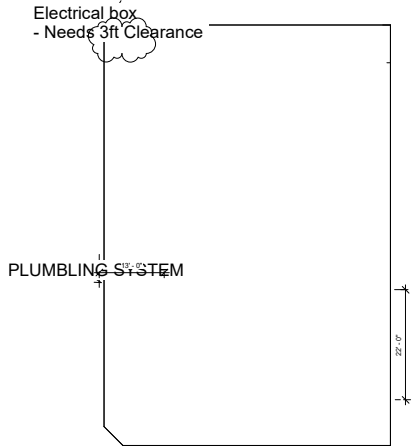
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SCALE: As Indicated
DATE: 12/12/24
DRAWN: KARIM MOUSSA
CHECKED:

**X
101**



② EXG. UTILITY CONNECTIONS
3/32" = 1'-0"

DRAINAGE CALCULATIONS

ROOF AREA = 5608 SF
PARKING LOT AREA = 34041.20 SF
TOTAL IMPERVIOUS AREA = 39649.20 = 0.91 ACRES
RAINFALL INTENSITY = 5.27 in. (10 YR - 24 HR)

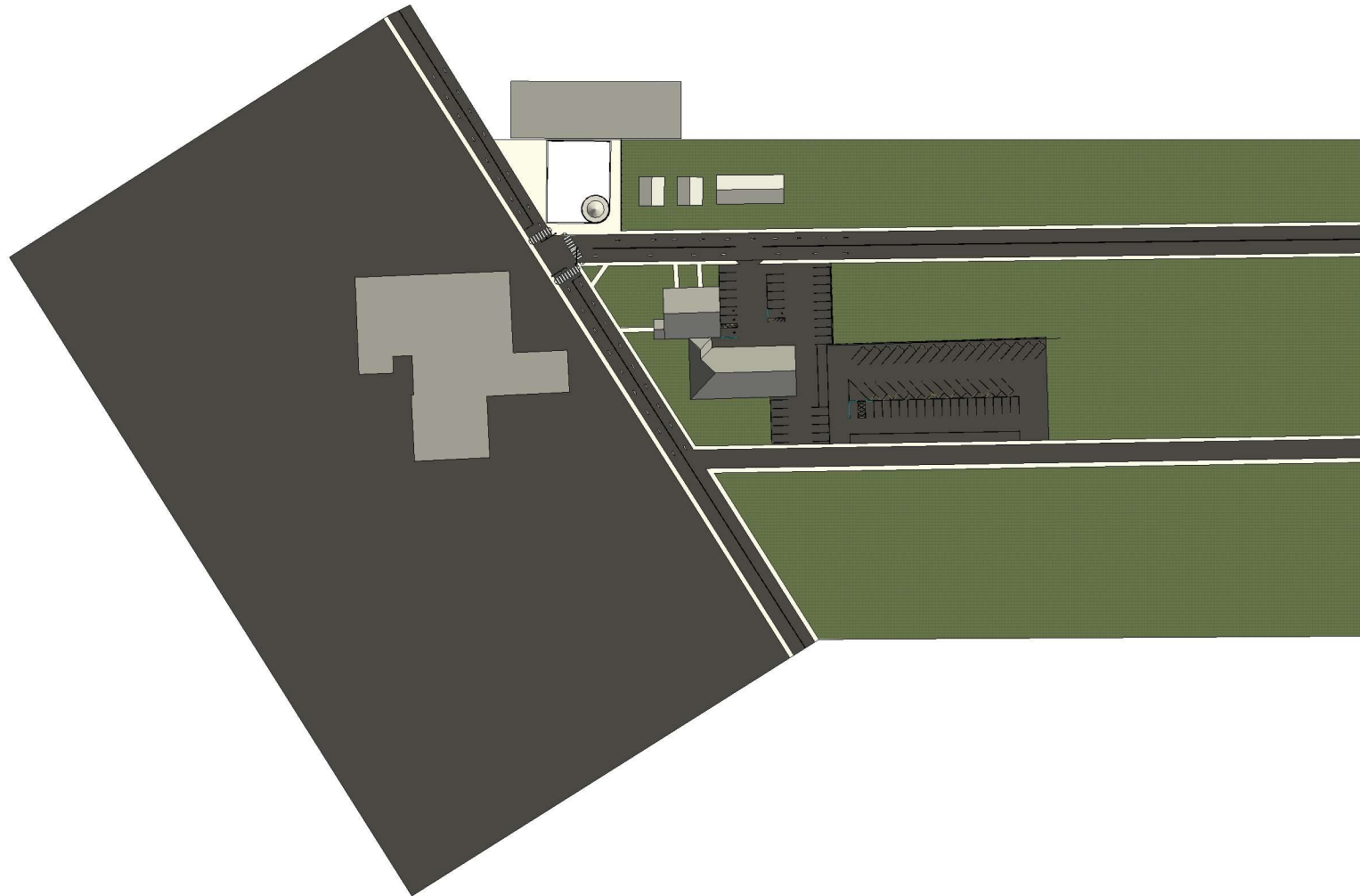
$$Q_{\text{rood}} = (5.27)(5608)(1/12) = 2462.8467 \text{ in}^3/\text{min}$$

PIPE SIZE = 8 in
VERTICAL DRAIN = 117G/min

$$C = ((0.95)(5608) + (0.9)(34041.20))/39649.20$$
$$C = 0.9010493226$$

$$Q = (0.9010493226)(5.27)(0.91)$$
$$Q = 4.349936436$$

$$\text{RUNOFF VOLUME} = (4.349936436)(6) = 26.10593948 \text{ FT}^3$$



② Site
1" = 50'-0"

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**STAKEHOLDER
SET - SITE
PLAN
CONCEPT**

SITE NOTES
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SCALE: 1" = 50'-0"
DATE: 11/15/2024
DRAWN: Karim Moussa
CHECKED:

**R
201**